

Yamhill County

DEPARTMENT OF PLANNING AND DEVELOPMENT

400 NE BAKER STREET McMinnville, Oregon 97128

Phone: (503) 434-7516 Fax: (503)434-7544 Internet Address: <https://www.co.yamhill.or.us/283/Planning-Development>

Building Permit Application Procedures

~ Effective July 2025 ~

The general requirements for permits from the Planning and Building Department are listed below. For additional information or questions, call (503) 434-7516. Before a permit can be issued for construction or the placement of a manufactured home, the following requirements must be satisfied: (1) land use, (2) subsurface sewage disposal (sanitation), (3) driveway, and (4) building plan approvals. Approvals may be obtained as follows:

1. Land Use Approval

If you reside within the city limits of Amity, Sheridan, Willamina, Yamhill, or Carlton:

You must obtain land use approval from the City's Planning Department. Once you have the City's approval, you will skip to section 4 - *Building Plans Approval*.

Within the unincorporated Areas of the County:

If zoning allows the proposed use outright, land use approval can be obtained immediately, and sanitation approval procedures can be initiated. If a land use application is required, allow several weeks for processing. Land use approvals must be obtained prior to septic permit approval. Please contact the planning office for more information.

Staff Members: Ken Friday, Planning Director
Alicia Lisle, Office Manager
Lance Woods, Senior Planner
Tiffanie Willis, Associate Planner
Stephanie Curran, Sr. Office Specialist

Phone: (503) 434-7516

OFFICE CLOSED
Wednesday and Friday
afternoons
12:00 – 5:00 p.m.

2. Sanitation Approval

Once land use approval is obtained, approval for subsurface sewage disposal must be obtained from the sanitarian. Obtaining approval is a two-step process: (1) determining the suitability of the soil for a drain field, and (2) obtaining a permit and installing a septic tank and drain field system. Allow up to six weeks for processing of applications preceding issuance of a permit to install the septic tank and drain field.

- a. In Step 1, (before installing a septic tank and drain field), application must be made and approved for a "site evaluation." This is an investigation of on-site test holes to determine the soil suitability for effluent disposal. Test holes are required to be dug by the applicant. A brochure is available from the County to explain this process.
- b. Following the soil suitability approval, an on-site disposal permit can be obtained. The permit is required prior to installing the system and involves on-site inspections to ensure correct installation.
- c. When a septic system has already been installed, an existing septic system evaluation may be needed to build any type of structure on three acres or less or for loan approval. Application must be made for an "existing system evaluation," which generally requires on-site investigation and/or review of office records by the Sanitarian.
- d. Changing the use of the septic system, such as adding bedrooms, replacing a home, or adding a bathroom to an accessory building may require septic authorization. Contact the sanitation office for requirements.

2. Sanitation Approval (*continued*)

- e. If your septic system is failing, you need to obtain a septic "repair permit."

Staff Members:

Suzan Richardson, Registered Environmental Health Specialist
Ashley Watkins, Registered Environmental Health Specialist

Phone: (503) 434-7516

3. Driveway Approval

Yamhill County requires driveway improvements that are safe, passable, and adequate for fire protection equipment prior to issuance of a building permit. Contact your local fire department to obtain driveway inspection and approval. Driveway approval is also required by the Yamhill County Public Works Dept. (503) 434-7515.

4. Building Plans Approval

A building permit application may be obtained once land use and sanitation are "signed off." Allow four weeks for plan checks and processing of building permit applications. When applying for a building permit, submit 1 set of construction plans and plot plan for residential and commercial projects. The plot plan needs to show distances from property lines, existing structures, and septic systems, if applicable. The two basic fees for building permits are for a "plan check" and for in-field inspections to ensure safe and appropriate construction methods and materials. Applicants must call to schedule inspections for various stages of construction. Please discuss this with the building staff.

Fees are generally based upon State-approved formulas for various types of construction and are calculated according to square footage. Plumbing permit fees are generally based on fixtures, bathrooms, and/or footage of plumbing. Mechanical fees are based on the number and type of mechanical fixtures for residential and the value of project for commercial. Ag-exempt structures require a zoning permit and \$ a fee. New residences also require a system development fee that is based upon levy code. Structures within the Gaston, Dayton, McMinnville, Newberg, Sherwood, and Yamhill-Carlton School Districts may also be subject to a Construction Excise Tax.

Staff Members: Tim Codiga, Building Official
Beau Biggs, Assistant Building Official
Robert McClure, Building Inspector
Pat Lisle, Senior Building Official's Assistant
Jessica Biggs, Building Inspector's Assistant

Office Hours of Inspectors: 8:00 a.m. to 9:00 a.m. daily

Phone: (503) 434-7516

5. Electrical Permit Approval

An electrical permit is required when undertaking any wiring installation or service. Fees are generally based upon the square footage and the number of amperes of service or the number of circuits that are added, altered, or extended. The person doing the work must sign the permit application.

Staff Members: Gary Stuck, Electrical Inspector
John Codiga, Electrical Inspector
Katrina Faircloth, Senior Office Specialist

Phone: (503) 434-7516

Office Hours of Inspectors: 8:00 a.m. to 9:00 a.m. daily

Approximate Fees Related To New Development

Development Fees – Parks System

Within Chehalem Park and Recreation District

\$9,389.00 (single family)
\$8,269.00 (multi-family - per unit)
\$6,454.00 (manufactured home)
\$3518.00 (adu)

In Yamhill County but outside Chehalem Park and Recreation District

\$403.68 (single family)
\$338.22 (manufactured home)
\$294.58 (multifamily)

Land Use Action Contact Planning Department regarding possible fees. Fee list included.

Building Permit

Cost is intended to comply with the definition of "Valuation" in Section 108.3 of the State of Oregon Structural Specialty Code and includes architectural, structural, electrical, plumbing, heating, and ventilation devices and equipment. It also includes the contractor's profit that should not be omitted.

Included are the Valuation Table and Permit Fee Table. The Valuation Table breaks down the project by use of building and type of construction. The cost per square foot is then multiplied by the total square feet of the project.

Plumbing Permit Fee list included.

Mechanical Permit Residential based on actual units installed. Commercial based on value of work. See attached listing.

Electrical Permit See attached copy of application.

Sanitation Fee list included.

Manufactured Home Set-up Fee list included.

Construction Excise Tax Fee list included.

Plot Plan Requirement Checklist

(Residential)

INCLUDED?	INFORMATION REQUIRED
	Drawing to be to scale – show scale on drawing.
	Show the orientation of the lot to the North (north arrow).
	Show elevations if in the flood plain.
	Show any easements of record that may be on the property and the purpose of the easement (for example: utility easement).
	Show the location of the sewer and water taps (if applicable), all other underground utilities to service the site, and the proposed location of lines , including water and sewer lines .
	Show the proposed routing and location of the underground drainage system (rain drains and crawl space drains).
	Show the direction of drainage from the house.
	Show all buildings with their dimensions including utility buildings. If structures are to be removed or relocated, note on the plot plan.
	Show setbacks from property lines (front, rear, and side yards of all buildings that are intended to be used).
	Show the location and width of the driveway .
	Show the location and width of the driveway apron at the depressed portion of the curb. (Not applicable in County).
	If the land is near the 20% slope , show verification of the break in slope. (Not applicable in County).
	Show the location of the septic tank, drain field, and replacement drain field .

Plans Requirement

The following is a list of information required for structural building permits.

- I One (1) plot plan showing the following:
 - a) Actual setback of proposed building
 - b) The location of all other buildings
 - c) Any easements from all property lines
 - d) Location of septic tank and drain field
 - e) Location of well/water supply
 - f) Complete address

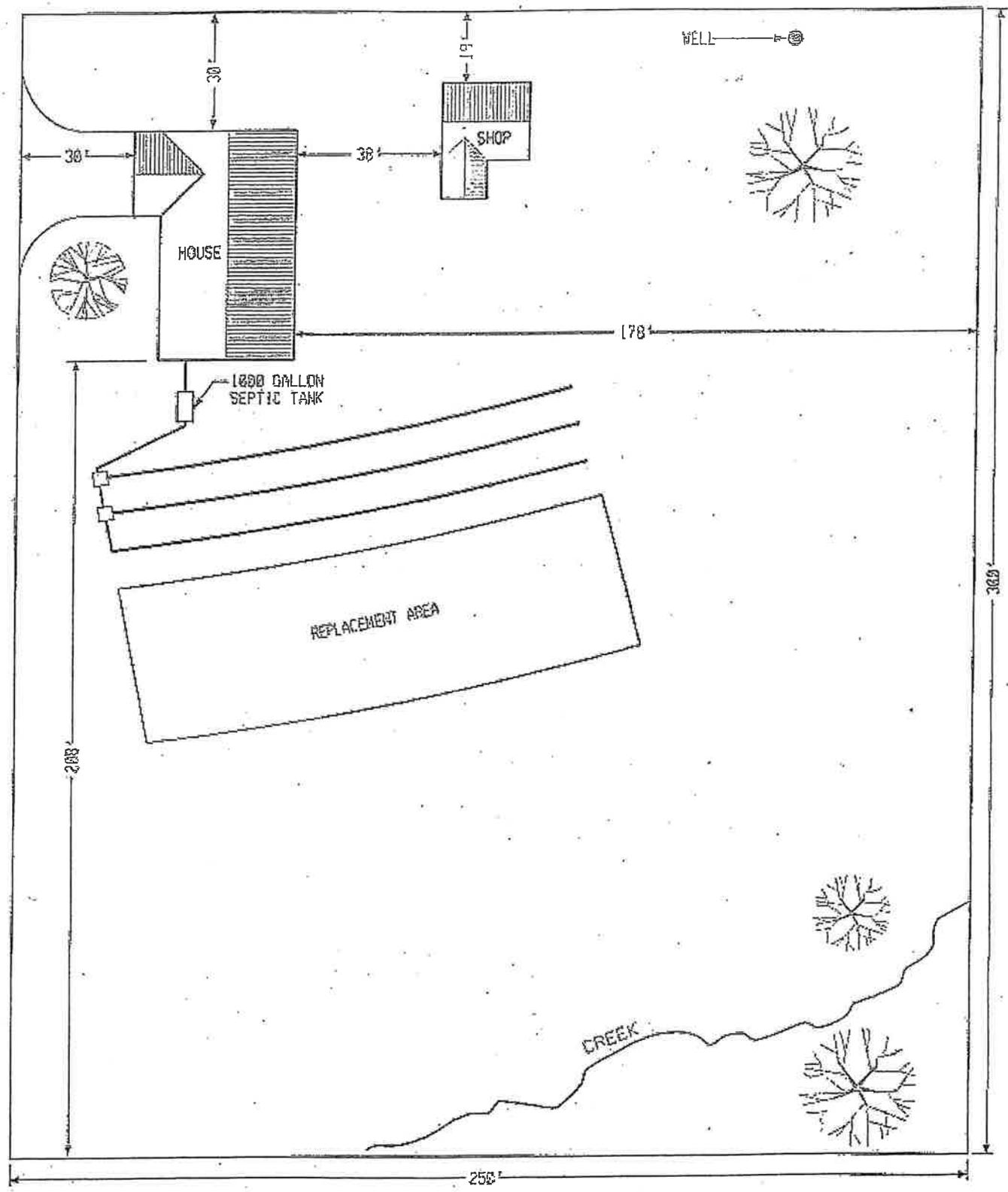
- II. One (1) complete, scaled (1/4" = 1'-0") sets of prints showing the following:
 - a) Cross sections of roof, wall, floor system, and footing and foundation
 - b) Type of roofing and covering
 - c) Method of insulation, plus R-factor of ceiling, floors and walls
 - d) Dimensions of all material used
 - e) Truss manufacturer (if trusses used)
 - f) Direction and method of storm water drainage
 - g) Location of sanitary sewer exit from building
 - h) All window sizes and sill heights
 - i) All door sizes
 - j) Elevation of all sides
 - k) Location of firewalls
 - l) 2011 Energy efficiency worksheet

General Notes Regarding Permit Processing

1. Plans must be reviewed by the Planning, Sanitation, and Building Departments. This process is done concurrent.
2. Processing time for your application varies with the size and complexity of the project. Plans are reviewed in the order in which they are received (in completed form). We will make every effort to provide you with a realistic time frame as to when you may expect to receive your permits. This time frame assumes that your plans include the required information outlined on the attached sheets and that no unusual circumstances occur.
3. When your plans have been reviewed and permits are ready to issue, we will notify you by telephone or in writing.
4. Plans and details may be combined if clarity is maintained.

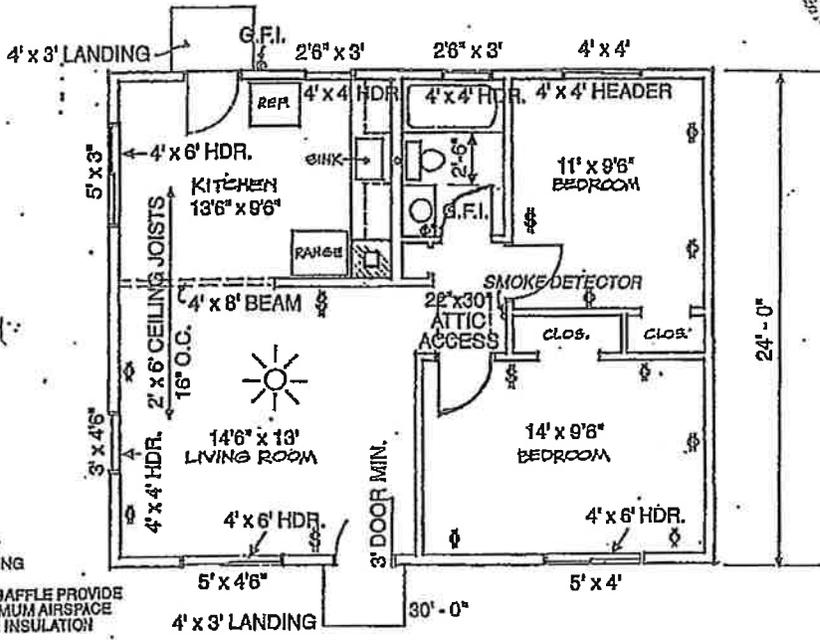
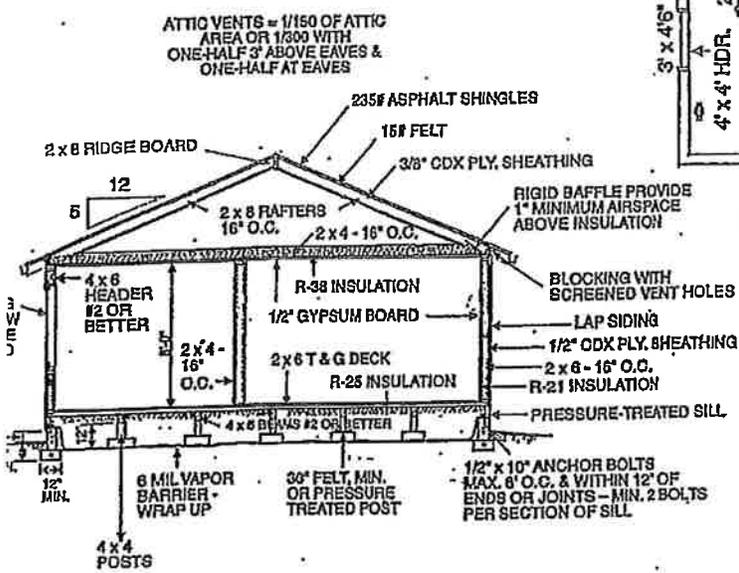


PLOT PLAN

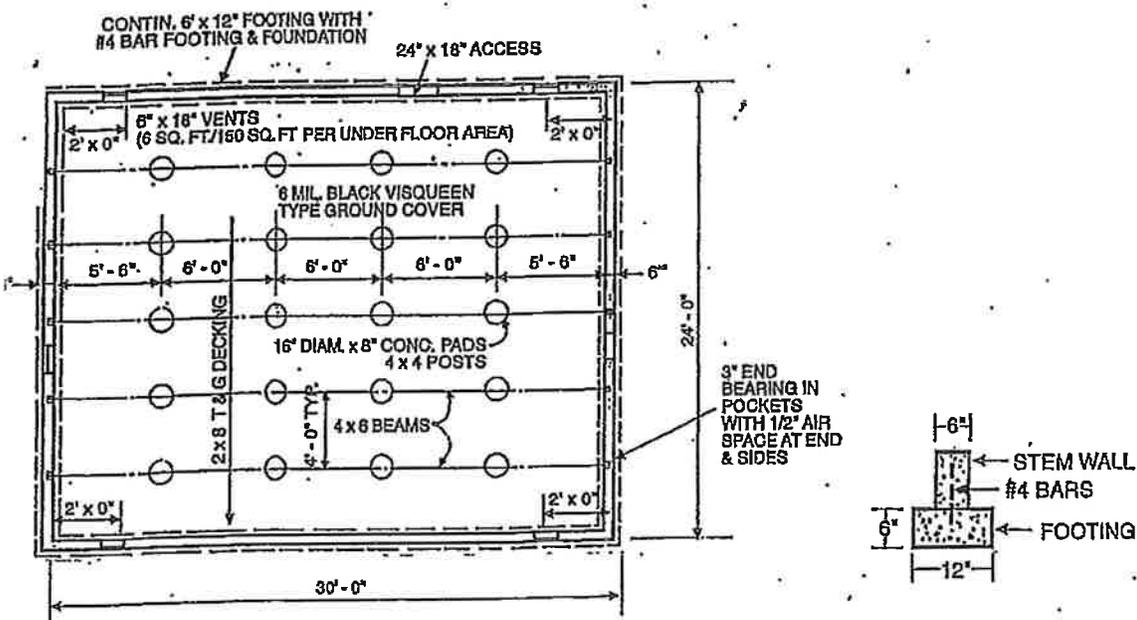


FLOOR PLANS

CROSS SECTION(S)

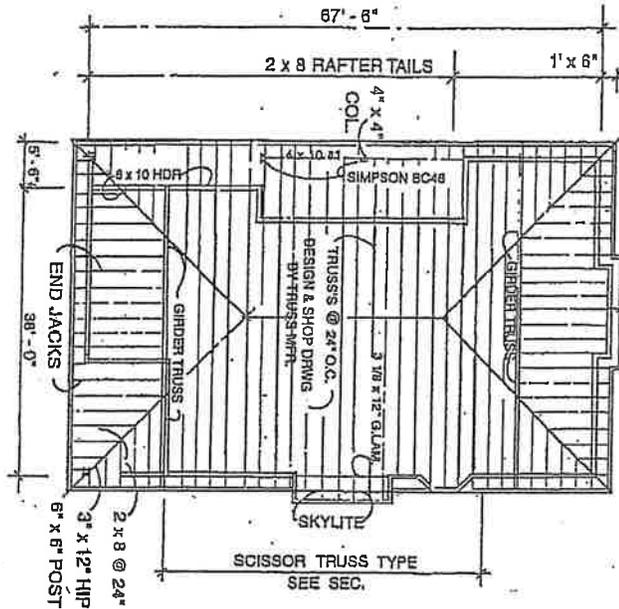
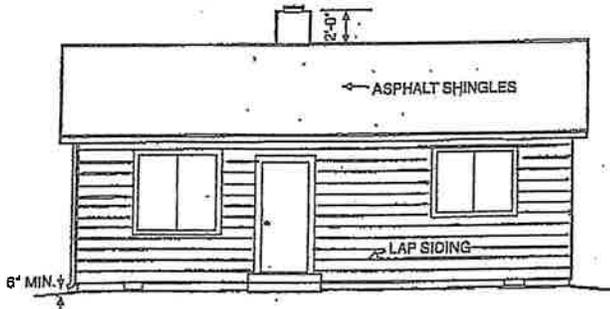


FOUNDATION or SUPPORT SYSTEM PLAN



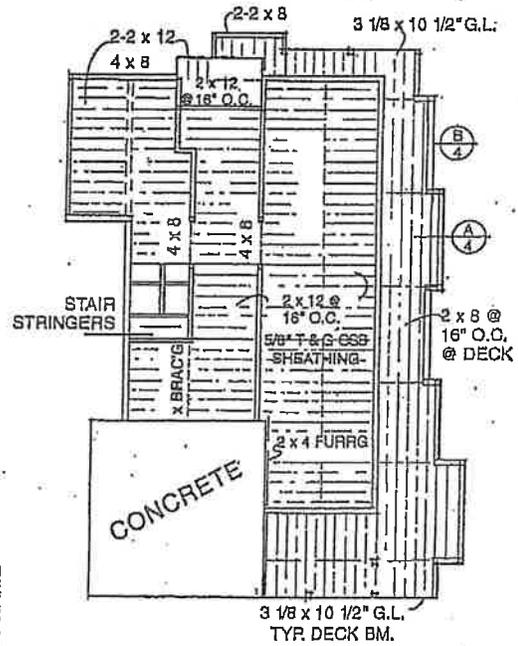
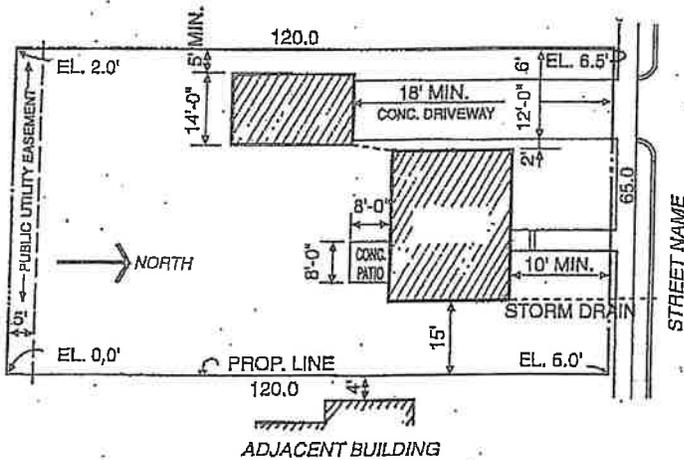
ELEVATIONS

Label FRONT, REAR or NORTH, EAST, etc.



FLOOR & ROOF FRAMING PLANS

PLOT PLAN



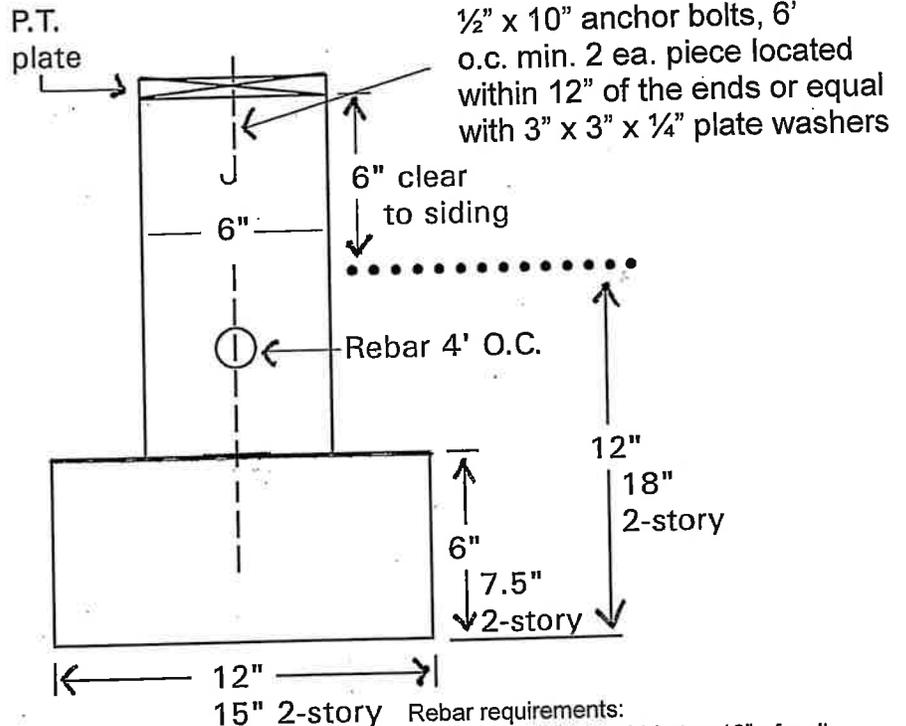
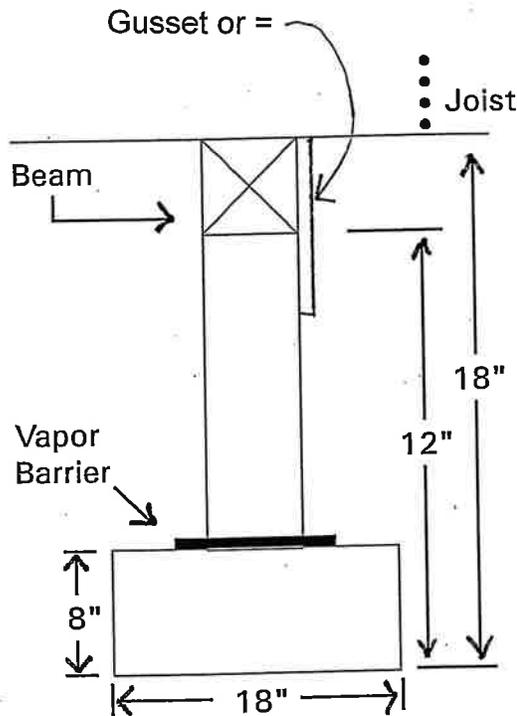
Typical Foundation

Sample Plan

Yamhill County Department of Planning & Development

535 East Fifth Street • McMinnville, OR 97128-4523

Phone: 503-434-7516 • FAX: 503-434-7520



Rebar requirements:

- Min 1 - #4 bar within top 12" of wall
- 1 - #4 bar in footing 3" off the ground
- verticals 48" o.c.

Exceptions: monolithically poured foundations need only 2 - #4 bars in the footing

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- Min 1 - #4 bar within top 12" of wall
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Exceptions: monolithically poured foundations need only 2 - #4 bars in the footing

1. 6 mil black visqueen required through-out crawl space
2. Install 18" x 24" crawl space access
3. 1 sq/ft. of vents required for each 150 sq/ft of crawl space
4. Low point drain required
5. For masonry block - use #4 rebar at 4' O.C. cells containing reinforcement or plate anchors grout solid.

APPROVED CHECKLIST FOR
COMPLIANCE WITH
OAR 918-090-0320

One & Two Family Dwelling
Building Permit Application Checklist

Jurisdiction _____
Reference # _____
Associated Permits Elec Plmb Mech Other _____

The following items are required for plan review and shall be used by the jurisdiction to determine a complete set of plans and compliance with OAR 918-020-0090(3)(a)(C) and (4).		Yes	No	N/A
1	Complete sets of legible plans drawn to scale, showing conformance to the applicable local and state building codes. Lateral design details and connections must be incorporated into the plans or on a separate full size sheet attached to the plans, with cross-references between plan location and details. Plan review cannot be completed if copyright violations are evident.			
2	Site/Plot Plan drawn to scale. The plan must show: lot and building setback dimensions, property corner elevations (if there is more than 4-ft. elevation differential, the site plan must show contour lines at 2-ft. intervals for a distance away from the building necessary to show compliance with OTFDC Sec. 401), location of easements and driveway, footprint of structure (including decks), location of wells/septic systems, utility locations, any known fill sites or landslide hazard areas, direction indicator, lot area, impervious area, existing structures on site, and surface drainage.			
3	Foundation Plan and Cross Section. Show footing and foundation dimensions, anchor bolts, and hold-downs and reinforcing steel, connection details, foundation vent size and location, and soil type.			
4	Floor Plans. Show all dimensions, room identification, door and window sizes and locations, location of smoke detectors, water heater, HVAC equipment, ventilation fans, plumbing fixtures, balconies and decks 30 inches above grade, etc.			
5	Cross section(s) and details. Show all framing member sizes and spacing such as floor beams, headers, joists, sub-floor, wall construction, roof construction. More than one cross section may be required to clearly portray construction. Show details of all wall and roof sheathing, roofing, roof slope, ceiling height, siding material, footings and foundation, stairs, fireplace construction, thermal insulation, etc.			
6	Elevation views. Provide elevations for new construction; minimum of two elevations for additions and remodels. Exterior elevations must reflect the actual grade if the change in grade is greater than 4 ft. at building envelope. Full size sheet addendums showing foundation elevations with cross-references are acceptable.			
7	Wall bracing (prescriptive path) and/or lateral analysis plans. Building plans must show construction details and locations of lateral brace panels; for non-prescriptive path analysis provide specifications and calculations to engineering standards.			
8	Floor/roof framing plans are required for all floor/roof assemblies indicating member sizing, spacing and bearing locations, nailing and connection details. Show location of attic ventilation.			
9	Basement and retaining wall cross sections and details showing placement of reinforcing steel, drains and waterproofing shall be provided. Engineered plans are required for retaining walls exceeding 4' in height in basement walls not complying with the prescriptive code requirements. For engineered systems, see item 13, for "Engineer's calculations."			
10	Beam calculations. Provide two sets of calculations using current code design values for all beams and multiple joists exceeding prescriptive code requirements, and/or any beam/joist carrying a non-uniform load.			
11	Manufactured floor/roof truss design details.			
12	Energy Code Compliance. Identify the prescriptive path or provide calculations.			
13	Engineer's calculations when required or provided, (i.e., shear wall, roof truss, retaining walls exceeding 4') shall be stamped by an engineer or architect licensed in Oregon and shall be shown to be applicable to the project under review by cross-reference to the applicable plan location.			

Jurisdictional specifics. (local requirements for zoning and land use may be added to the checklist)

23				
24				
25				
26				
27				

Checklist must be completed before plan review start date. Minor changes or notes on submitted plans may be in blue or black ink. Red ink is reserved for department only.

Erosion Prevention Permit Application

YAMHILL COUNTY

400 NE Baker Street, McMinnville, OR 97128
 planning@yamhillcounty.gov

Phone: (503) 434-751

Fax: (503) 434-7544

Permit No: _____

Date: _____

TYPE OF WORK	
<input type="checkbox"/> Residential	<input type="checkbox"/> Driveway Install Only
<input type="checkbox"/> Septic	<input type="checkbox"/> Accessory Building
<input type="checkbox"/> Commercial/Industrial	<input type="checkbox"/> Multi-Family
<input type="checkbox"/> Other	<input type="checkbox"/> Floodplain/Removal
JOB SITE INFORMATION AND LOCATION	
Job site address:	
City:	State: Zip:
Directions:	
Tax map/parcel no.:	
DESCRIPTION OF WORK	
PROPERTY OWNER	
Name:	
Address:	
City:	State: Zip:
SIGNATURE:	
CONTRACTOR	
Name:	
Address:	
City:	State: Zip:
Phone:	
E-mail:	
CCB lic:	Expiration date:
APPLICANT	
Name:	
Address:	
City:	State: Zip:
Phone:	Email:
SIGNATURE:	
- COMPLETE THE CHECKLIST ON THE REVERSE PAGE - ALL ITEMS WITHIN THE CHECKLIST MUST BE IDENTIFIED ON THE EROSION CONTROL PLAN	

ASSOCIATED PROJECT PERMITS	
ESTIMATED START DATE	
LAND DISTURBANCE/ TYPE OF PERMIT	
1/4 ACRE OR MORE (BUT LESS THAN 1/2 ACRE) TIER 1:	
1/2 ACRE OR MORE (BUT LESS THAN 3/4 ACRE) TIER 2:	
3/4 ACRE OR MORE (BUT LESS THAN 1 ACRE) TIER 3:	
ANYTHING OVER 1 ACRE REQUIRES DEQ 1200-C PERMIT	
1 acre = 43,560 sq ft	
1/2 acre = 21,780 sq ft	
1/4 acre = 10,890 sq ft	
I have read and will comply with the above. I will construct and maintain ESC measures per the approved plan to contain sediment on the site.	
BUILDING PERMIT AND RELATED FEES	
<i>Please refer to the fee schedule.</i>	
Permit fee	\$
Agency review (zoning)	\$
Admin Processing Fee	\$
5% Technology Surcharge	\$
TOTAL DUE	\$
Paid amount	\$
Receipt #	\$
FOR DEPARTMENT USE ONLY	
Building plans approval:	
Septic approval:	
Planning approval:	
Conditions/Remarks:	
Zoning and setbacks:	
Front:	Side: Rear:

**Permits expire if work is not started within 180 days of issuance or if work is suspended for 180 days.
 This permit is issued under OAR 918- 460- 0030.**

Yamhill County

DEPARTMENT OF PLANNING AND DEVELOPMENT

400 NE BAKER STREET! McMinnville, Oregon 97128

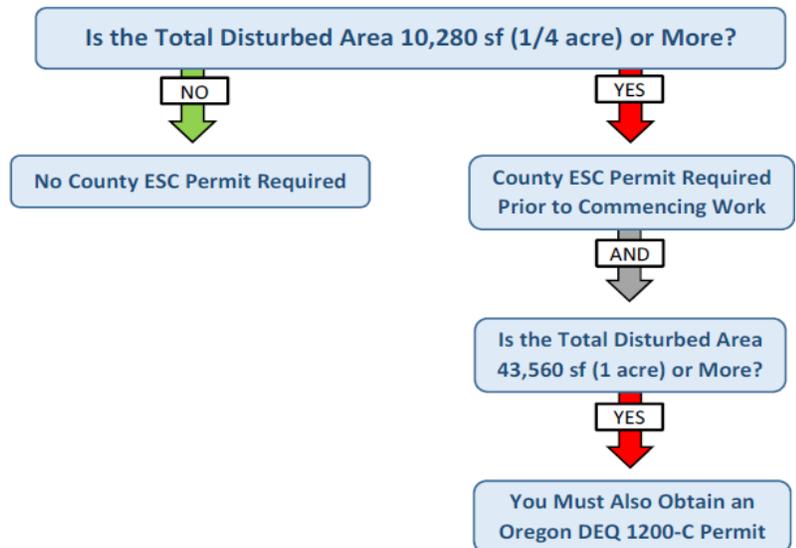
Phone:(503) 434-7516! Fax:(503)434-7544! Email: Planning@yamhillcounty.gov

Do I Need an Erosion and Sediment Control Permit? Disturbed Area Worksheet

Disturbed Area includes the affected area of activities that alter the existing vegetation and/or underlying soil of a site, such as clearing, grading, site preparation (e.g., excavating, grubbing, cutting, and filling), soil compaction and movement, and stockpiling of top soils.

Impacts of Activities that are included in a disturbed area calculation:

- Areas affected by vegetation clearing.
- Areas affected by timber harvest activities.
- Excavation – removal and /or fill
- Scalping, blading, and bulldozing
- Stockpiling
- Material storage areas
- Septic feasibility pits
- Septic drain field installation areas
- Areas disturbed by well-drilling rigs
- Construction entrances, access roads and equipment pathways



Use the following table to estimate the disturbed area for your site. This is the total area disturbed during construction, not just the footprint of the proposed development.

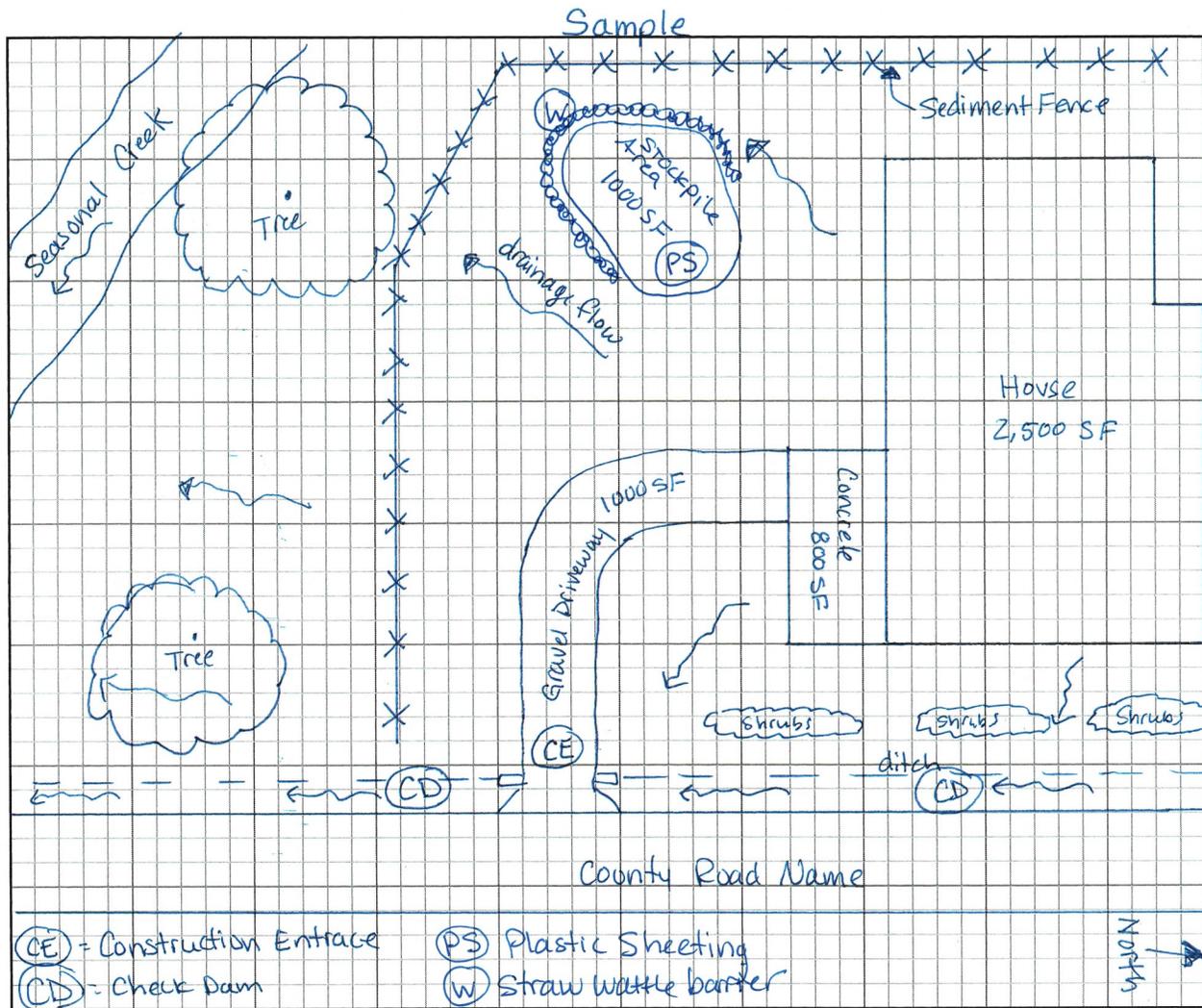
Impact Area Square Feet (SF)

Clearing/Grubbing	<input type="text"/>
Excavation or Fill	<input type="text"/>
Stockpiles & Materials	<input type="text"/>
Septic Area(s)	<input type="text"/>
Driveway & Access Roads	<input type="text"/>
Other	<input type="text"/>
TOTAL	<input type="text"/>

Date:	
Applicant name:	<input type="text"/>
<input type="text"/>	
Phone #:	<input type="text"/>
Email:	<input type="text"/>

OFFICE USE ONLY
Date:
Reviewed By :

Erosion and Sediment Control Plan Example



- Property boundary (north arrow scale)
- Existing and proposed contours, labeled at no greater than 5' intervals (Note intervals)
- Existing and proposed structures (House, shed, garage, pool, spa, patio, sports court, gazebo, retaining wall, etc....)
- Site Access/Equipment access
- Construction stie boundary, and any surface waters (Lake, canal, stream, wetland, etc.....)
- Limits of soil disturbance
- Soil Stockpile(s) (Appropriately scaled on drawing)
- Temporary ground cover (Mulch, straw, wood chips, rock, plastic sheeting, etc....)
- Perimeter erosion control (Straw wattles, silt fence, sediment basin, berms, silt curtain, etc....)
- Storm drain inlet protection
- Notes/narrative indicating how exposed soils will be permanently stabilized

Yamhill County
DEPARTMENT OF PLANNING AND DEVELOPMENT
400 NE BAKER STREET McMinnville, OREGON 97128
Phone:(503) 434-7516 Fax:(503)434-7544 Email: planning@yamhillcounty.gov

Erosion Prevention Self-Certification Form

This form is to be submitted with building, sanitation, and planning permits located in the County, but that does not disturb a large enough amount of land to require an erosion prevention permit. Self-certification forms are *not* required for exempted or accepted activities.

JOB SITE INFORMATION

Job Site Address: _____
 Tax lot Number: _____
 Property Owner Name/Applicant: _____

SELF-CERTIFICATION

Read and check all the boxes below

*The proposed land disturbance does not require an erosion prevention permit. If, however, the scope of work is increased, I acknowledge that I will verify whether an erosion prevention permit is needed and will obtain all required permits.

*The proposed land disturbance will meet the erosion prevention outcomes found in OAR 340-42-0080.

*Water features and stormwater systems, public and private ways, and adjacent properties will be protected from discharges of soil, sediment, concentrated runoff flows, and hazardous substances.

*Hazardous substances will not be released on the site and will be safely managed at all times.

*The use of plastic and petroleum-based products for erosion prevention will be limited to temporary installations and will be removed upon completion of construction.

*Wet weather outcomes will be met during the wet weather season, October 15 – April 30.

*Upon completion of construction, all disturbed areas will be stabilized and protected from any further erosion.

Read the self-certification statement and sign below.

I certify that all land disturbances associated with construction activity on this site will meet the outcome requirements of OAR 340-42-0080. I understand that discharging sediments and pollutants contrary to OAR 340-42-0080 is a violation of code and may require additional permitting. I also understand that the submittal of this certification does not release a permittee from liability for any violations of any other county, state, and/or federal permits and/or requirements.

Signature	Printed Name	Date
<input type="checkbox"/> Property Owner		<input type="checkbox"/> Property Owner's Authorized Agent

R-3 occupancy, when such calculations demonstrate similar performance to the requirements of Table N1101.2.

N1101.3 Additions. Additions to existing buildings or structures may be made without making the entire building or structure comply if the new additions comply with the requirements of this chapter.

N1101.3.1 Large additions. Additions that are equal to or more than 600 square feet (55 m²) in area shall be required to comply with Table N1101.1(2).

N1101.3.2 Small additions. Additions that are less than 600 square feet (55 m²) in area shall be required to select one measure from Table N1101.1(2) or comply with Table N1101.3.

Exception: Additions that are less than 225 square feet (20.9 m²) in area shall not be required to comply with Table N1101.1(2) or Table N1101.3.

N1101.4 Information on plans and specifications. Plans and specifications shall show in sufficient detail all pertinent data and features of the building and the equipment and systems as herein governed, including, but not limited to: exterior envelope component materials; R-values of insulating materials; fenestration U-factors; HVAC equipment efficiency performance and system controls; lighting; an additional measure from Table N1101.1(2); and the other pertinent data to indicate compliance with the requirements of the chapter.

**TABLE N1101.1(1)
PRESCRIPTIVE ENVELOPE REQUIREMENTS^a**

BUILDING COMPONENT	STANDARD BASE CASE		LOG HOMES ONLY	
	Required Performance	Equiv. Value ^b	Required Performance	Equiv. Value ^b
Wall insulation—above grade	U-0.059 ^a	R-21 Intermediate ^c	Note d	Note d
Wall insulation—below grade ^e	C-0.063	R-15 c.i. / R-21	C-0.063	R-15/R-21
Flat ceilings ^f	U-0.021	R-49	U-0.020	R-49 A ^h
Vaulted ceilings ^g	U-0.033	R-30 Rafter or R-30A ^{g,h} Scissor Truss	U-0.027	R-38A ^b
Underfloors	U-0.033	R-30	U-0.033	R-30
Slab-edge perimeter ^m	F-0.520	R-15	F-0.520	R-15
Heated slab interior ⁱ	n/a	R-10	n/a	R-10
Windows ^j	U-0.27	U-0.27	U-0.27	U-0.27
Skylights	U-0.50	U-0.50	U-0.50	U-0.50
Exterior doors ^k	U-0.20	U-0.20	U-0.54	U-0.54
Exterior doors with > 2.5 ft ² glazing ^l	U-0.40	U-0.40	U-0.40	U-0.40

For SI: 1 inch = 25.4 mm, 1 square foot = 0.0929 m², 1 degree = 0.0175 rad, n/a = not applicable.

- a. As allowed in Section N1104.1, thermal performance of a component may be adjusted provided that overall heat loss does not exceed the total resulting from conformance to the required U-factor standards. Calculations to document equivalent heat loss shall be performed using the procedure and approved U-factors contained in Table N1104.1(1).
- b. R-values used in this table are nominal for the insulation only in standard wood-framed construction and not for the entire assembly.
- c. Wall insulation requirements apply to all exterior wood-framed, concrete or masonry walls that are above grade. This includes cripple walls and rim joist areas. Nominal compliance with R-21 insulation and Intermediate Framing (N1104.5.2) with insulated headers.
- d. The wall component shall be a minimum solid log or timber wall thickness of 3.5 inches.
- e. Below-grade wood, concrete or masonry walls include all walls that are below grade and do not include those portions of such wall that extend more than 24 inches above grade. R-21 for insulation in framed cavity; R-15 continuous insulation.
- f. Insulation levels for ceilings that have limited attic/rafter depth such as dormers, bay windows or similar architectural features totaling not more than 150 square feet in area may be reduced to not less than R-21. When reduced, the cavity shall be filled (except for required ventilation spaces). R-49 insulation installed to minimum 6-inches depth at top plate at exterior of structure to achieve U-factor.
- g. Vaulted ceiling surface area exceeding 50 percent of the total heated space floor area shall have a U-factor no greater than U-0.026 (equivalent to R-38 rafter or scissor truss with R-38 advanced framing).
- h. A = Advanced frame construction. See Section N1104.6.
- i. Heated slab interior applies to concrete slab floors (both on and below grade) that incorporate a radiant heating system within the slab. Insulation shall be installed underneath the entire slab.
- j. Sliding glass doors shall comply with window performance requirements. Windows exempt from testing in accordance with Section NF1111.2, Item 3 shall comply with window performance requirements if constructed with thermal break aluminum or wood, or vinyl, or fiberglass frames and double-pane glazing with low-emissivity coatings of 0.10 or less. Buildings designed to incorporate passive solar elements may include glazing with a U-factor greater than 0.35 by using Table N1104.1(1) to demonstrate equivalence to building envelope requirements.
- k. A maximum of 28 square feet of exterior door area per dwelling unit can have a U-factor of 0.54 or less.
- l. Glazing that is either double pane with low-e coating on one surface, or triple pane shall be deemed to comply with this requirement.
- m. Minimum 24-inch horizontal or vertical below grade.

N1101.3 Additions. Additions to existing buildings or structures may be made without making the entire building or structure comply if the new additions comply with the requirements of this chapter.

N1101.3.1 Large additions. Additions that are equal to or more than 40 percent of the existing building heated floor area or 600 square feet (55 m²) in area, whichever is less, shall be required to comply with Table N1101.1(2).

N1101.3.2 Small additions. Additions that are less than 40 percent of the existing building heated floor area or less than 600 square feet (55 m²) in area, whichever is less, shall be required to select one measure from Table N1101.1(2) or comply with Table N1101.3.

Exception: Additions that are less than 15 percent of existing building heated floor area or 200 square feet (18.58 m²) in area, whichever is less, shall not be required to comply with Table N1101.1(2) or Table N1101.3.

TABLE N1101.1(1)
PRESCRIPTIVE ENVELOPE REQUIREMENTS^a

BUILDING COMPONENT	STANDARD BASE CASE		LOG HOMES ONLY	
	Required Performance	Equiv. Value ^b	Required Performance	Equiv. Value ^b
Wall insulation—above grade	U-0.059 ^c	R-21 Intermediate ^c	Note d	Note d
Wall insulation—below grade ^e	C-0.063	R-15/R-21	C-0.063	R-15/R-21
Flat ceilings ^f	U-0.021	R-49	U-0.020	R-49 A ^h
Vaulted ceilings ^g	U-0.033	R-30 Rafter or R-30A ^{g,h} Scissor Truss	U-0.027	R-38A ^h
Underfloors	U-0.033	R-30	U-0.033	R-30
Slab edge perimeter	F-0.520	R-15	F-0.520	R-15
Heated slab interior ⁱ	n/a	R-10	n/a	R-10
Windows ^j	U-0.30	U-0.30	U-0.30	U-0.30
Window area limitation ^{j,k}	n/a	n/a	n/a	n/a
Skylights ^l	U-0.50	U-0.50	U-0.50	U-0.50
Exterior doors ^m	U-0.20	U-0.20	U-0.54	U-0.54
Exterior doors with > 2.5 ft ² glazing ⁿ	U-0.40	U-0.40	U-0.40	U-0.40
Forced air duct insulation	n/a	R-8	n/a	R-8

For SI: 1 inch = 25.4 mm, 1 square foot = 0.0929 m², 1 degree = 0.0175 rad, n/a = not applicable.

- As allowed in Section N1104.1, thermal performance of a component may be adjusted provided that overall heat loss does not exceed the total resulting from conformance to the required *U*-factor standards. Calculations to document equivalent heat loss shall be performed using the procedure and approved *U*-factors contained in Table N1104.1(1).
- R*-values used in this table are nominal for the insulation only in standard wood framed construction and not for the entire assembly.
- Wall insulation requirements apply to all exterior wood framed, concrete or masonry walls that are above grade. This includes cripple walls and rim joist areas. Nominal compliance with R-21 insulation and Intermediate Framing (N1104.5.2) with insulated headers.
- The wall component shall be a minimum solid log or timber wall thickness of 3.5 inches (90 mm).
- Below-grade wood, concrete or masonry walls include all walls that are below grade and do not include those portions of such wall that extend more than 24 inches (609.6 mm) above grade. R-21 for insulation in framed cavity; R-15 continuous insulation.
- Insulation levels for ceilings that have limited attic/rafter depth such as dormers, bay windows or similar architectural features totaling not more than 150 square feet (13.9 m²) in area may be reduced to not less than R-21. When reduced, the cavity shall be filled (except for required ventilation spaces). R-49 insulation installed to minimum 6-inches depth at top plate at exterior of structure to achieve *U*-factor.
- Vaulted ceiling surface area exceeding 50 percent of the total heated space floor area shall have a *U*-factor no greater than U-0.026 (equivalent to R-38 rafter or scissor truss with R-38 advanced framing).
- A = Advanced frame construction. See Section N1104.6.
- Heated slab interior applies to concrete slab floors (both on and below grade) that incorporate a radiant heating system within the slab. Insulation shall be installed underneath the entire slab.
- Sliding glass doors shall comply with window performance requirements. Windows exempt from testing in accordance with Section NF1111.2, Item 3 shall comply with window performance requirements if constructed with thermal break aluminum or wood, or vinyl, or fiberglass frames and double-pane glazing with low-emissivity coatings of 0.10 or less. Buildings designed to incorporate passive solar elements may include glazing with a *U*-factor greater than 0.35 by using Table N1104.1(1) to demonstrate equivalence to building envelope requirements.
- Reduced window area may not be used as a trade-off criterion for thermal performance of any component.
Exception: Table N1101.1(2), Envelope Measure 6: calculation allows baseline case 15 percent of total wall area as window when design case utilizes window area of less than 15 percent.
- Skylight area installed at 2 percent or less of total heated space floor area shall be deemed to satisfy this requirement with vinyl, wood or thermally broken aluminum frames and double-pane glazing with low-emissivity coatings. Skylight *U*-factor is tested in the 20-degree (0.35 rad) overhead plane in accordance with NFRC standards.
- A maximum of 28 square feet (2.6 m²) of exterior door area per dwelling unit can have a *U*-factor of 0.54 or less.
- Glazing that is either double pane with low-e coating on one surface, or triple pane shall be deemed to comply with this U-0.30 requirement.

Medical Gas Piping Permit Fees Effective July 1, 2025

TOTAL VALUATION	FEE
\$0.01 to \$25,000	\$260.15
\$25,001 - \$50,000	\$260.15 for the first \$25,000 + \$6.95 for each additional \$1,000 or fraction thereof, to and including \$50,000
\$50,001 - \$100,000	\$433.94 for the first \$50,000.00 plus \$4.64 for each additional \$1000.00 or fraction thereof, to and including \$100,000.00
\$100,001 and above	\$851.54 for the first \$100,000.00 \$3.86 for each additional \$1,000.00 or fraction thereof

12% state surcharge based on the amount of the permit fee

The plan review fee is 35% of the permit fee.

Commercial Mechanical Permit Fees Effective July 1, 2025

TOTAL VALUATION	FEE
\$0.01 to \$5,000.00	\$118.79
\$5,001.00 to \$10,000.00	\$118.79 for the first \$5,000.00 plus \$1.31 for each additional \$100.00 or fraction thereof, to and including \$10,000.00
\$10,001.00 to \$100,000.00	\$125.34 for the first \$10,000.00 plus \$11.14 for each additional \$1000.00 or fraction thereof, to and including \$100,000.00
\$100,001.00 and up	\$1,127.94 for the first \$100,000.00 plus \$6.50 for each additional \$1,000.00 or fraction thereof

12% state surcharge based on amount of permit fee

Plan review fee is 25% of the permit fee

Building Permit Fees Effective July 1, 2025

TOTAL VALUATION	FEE
\$0.01 to \$500.00	\$17.67
\$501.00 to \$2,000.00	\$17.67 for the first \$500.00 plus \$2.66 for each additional \$100.00 or fraction thereof, to and including \$2,000.00
\$2001.00 to \$25,000.00	\$57.57 for the first \$2000.00 plus \$10.57 for each additional \$1000.00 or fraction thereof, to and including \$25,000.00
\$25,001.00 to \$50,000.00	\$300.68 for the first \$25,000.00 plus \$7.95 for each additional \$1,000.00 or fraction thereof, to and including \$50,000.00
\$50,001.00 to \$100,000.00	\$499.39 for the first \$50,000.00 plus \$5.30 for each additional \$1,000.00 or fraction thereof, to and including \$100,000.00
\$100,001.00 and up	\$764.39 for the first \$100,000.00 plus \$4.43 for each additional \$1,000.00 or fraction thereof

12% state surcharge based on the amount of the permit fee

Plan review fee is 65% of the permit fee

Fire and Life Safety review is 40% of the permit fee

For phased permits – In addition to standard permit fees, \$200 application fee per phase plus 10% of the building permit fee

For deferred submittals, there is an additional fee of \$50 for each residential deferred submittal and an additional \$200 for each commercial deferred submittal

INSPECTION FEES

Inspection Fee	\$95.65
Inspections outside of regular business hours - per hour	\$95.65
Inspection for which no fee is specifically indicated - per hour	\$95.65

ADDITIONAL PLAN REVIEW

Additional plan review is required for changes, additions, or revisions to approved plans, per hour	\$95.65
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YAMHILL COUNTY

DEPARTMENT OF PLANNING AND DEVELOPMENT

400 NE BAKER STREET McMinnville, Oregon 97128

Phone: (503) 434-7516 Fax: (503)434-7544 Internet Address: <https://www.co.yamhill.or.us/283/Planning-Development>

Standards for Electrical Plan Submissions Oregon Administrative Rules 918-311-0040

(1) Electrical plans are required for any of the following conditions:

- (a) A service or feeder beginning at 400 Amps where the available fault current exceeds 10,000 Amps at 150 Volts or less to ground or exceeds 14,000 Amps for all other installations; or
- (b) Installation of a 150 KVA or larger separately derived system as defined in Article 100 of the **National Electrical Code (NEC)**; or
- (c) Addition of a new motor load of 100 HP or more; or
- (d) Fire pump installations as defined in Article 695 of the NEC; or
- (e) Emergency systems installations as defined in Article 700 of the NEC; or
- (f) A service or feeder rated at 600 Amps or over; or
- (g) Voltage. More than 600 supply volts nominal; or
- (h) Renewable Energy. Renewable electrical energy systems rated over 25 KVA; or
- (i) Height. More than three stories; or
- (j) Occupancy.
 - (A) Six or more residential units in one structure; or
 - (B) An "A" (Assembly) occupancy, "E" (Educational) occupancy, or "I-2" or "I-3" (Institutional) occupancy as defined in the adopted **Oregon Structural Specialty Code**; or
 - (C) Any of the following special occupancies as described in Chapter 5 of the NEC adopted by the board in OAR 918-305-0100:
 - (i) Hazardous (Classified) locations as defined in Articles 500 to 516; or
 - (ii) Installations in patient care areas of health care facilities as defined in Article 517; or
 - (iii) Agricultural buildings used for commercial purposes, as defined in Article 547; or
 - (iv) Floating buildings as defined in Article 553; or
 - (v) Marinas and boat yards as defined in Article 555; or
 - (k) Recreational Vehicle Park. A new recreational vehicle park, or any addition or alteration to an existing park.

See reverse side of this sheet for the items you must include in your submitted plans.

2) Standardized Format for Plan Review 318-311-0040. When an electrical plan review is required, the electrical plan shall meet the following requirements:

(a) Copies. Submit one set of electrical plans.

(b) Readability. The plans shall be drawn to scale, contain definitions for legends used, be of sufficient clarity to indicate the location, nature, and extent of the work proposed, and show in detail that it will conform to the applicable electrical code requirements, laws, ordinances, rules and regulations.

(c) Contents. The plans shall contain the following minimum requirements:

(A) Feeder riser diagram showing panel location and circuit schedules.

(B) One-line riser diagram showing bonding and grounding and conductor sizes;

(C) Available fault current on the line side of service disconnect.

(D) Complete load calculations, or provide applicable load records, for all new installations and additions to existing installations;

(E) Fixture schedule, showing type, location and layout of the fixtures.

(F) Address of the installation and name of owner and address.

(G) Identification of the employer, identification and signature of person who prepared the plan, license number if the person is an electrical supervisor and professional registration number if the person is an architect or registered professional electrical engineer; and

(H) Location of emergency systems, identifying the power source and the system on plan.

(5) Nothing in these rules shall prohibit a jurisdiction from requiring a lighting energy budget.

(6) Nothing in these rules shall prohibit the owner or the owner's agent from requesting and receiving plan review for non-complex structures.

JULY 2025 BUILDING VALUATION DATA

VALUE PER SQUARE FOOT

Group (2024 International Building Code)	IA	IB	IIA	IIB	IIIA	IIIB	IV	VA	VB
A-1 Assembly, theaters, with stage	337.41	325.40	315.80	303.35	283.46	275.24	292.98	264.14	254.04
A-1 Assembly, theaters, without stage	309.77	297.76	288.16	275.71	256.07	247.85	265.35	236.75	226.65
A-2 Assembly, nightclubs	269.42	261.52	253.31	243.65	228.21	222.01	235.29	207.53	199.66
A-2 Assembly, restaurants, bars, banquet halls	268.42	260.52	251.31	242.65	226.21	221.01	234.29	205.53	198.66
A-3 Assembly, churches	314.40	302.40	292.80	280.35	260.82	252.61	269.98	241.51	231.40
A-3 Assembly, general, community halls, libraries, museums	264.03	252.03	241.42	229.98	209.33	202.12	219.61	190.01	180.91
A-4 Assembly, arenas	308.77	296.76	286.16	274.71	254.07	246.85	264.35	234.75	225.65
B Business	298.43	287.83	277.50	265.76	242.70	234.06	255.55	216.90	206.96
E Educational	282.06	272.26	263.65	252.74	235.87	223.82	244.04	206.65	200.02
F-1 Factory and industrial, moderate hazard	164.17	156.25	146.41	140.89	125.45	119.36	134.33	104.02	96.87
F-2 Factory and industrial, low hazard	163.17	155.25	146.41	139.89	125.45	118.36	133.33	104.02	95.87
H-1 High Hazard, explosives	153.17	145.25	136.41	129.89	115.76	108.67	123.33	94.33	N.P.
H234 High Hazard	153.17	145.25	136.41	129.89	115.76	108.67	123.33	94.33	86.17
H-5 HPM	298.43	287.83	277.50	265.76	242.70	234.06	255.55	216.90	206.96
I-1 Institutional, supervised environment	274.98	265.13	255.66	246.00	225.17	219.12	245.49	202.80	195.56
I-2 Institutional, hospitals	469.18	458.58	448.25	436.51	411.45	N.P.	426.30	385.65	N.P.
I-2 Institutional, nursing homes	323.68	313.08	302.75	291.01	269.45	N.P.	280.80	243.65	N.P.
I-3 Institutional, restrained	314.93	304.33	294.00	282.26	261.70	252.06	272.05	255.55	223.96
I-4 Institutional, day care facilities	274.98	265.13	255.66	246.00	225.17	219.12	245.49	202.80	195.56
M Mercantile	201.08	193.18	183.97	175.31	159.52	154.32	166.95	138.84	131.97
R-1 Residential, hotels	278.14	268.29	258.82	249.16	227.83	221.78	248.64	205.46	198.22
R-2 Residential, multiple family	232.26	222.41	212.94	203.28	183.19	177.15	202.77	160.82	153.58
R-3 Residential, one- and two-family ^d	215.90	210.16	205.11	200.73	194.02	187.11	204.78	180.41	169.09
R-4 Residential, care/assisted living facilities	274.98	265.13	255.66	246.00	225.17	219.12	245.49	202.80	195.56
S-1 Storage, moderate hazard	152.17	144.25	134.41	128.89	113.76	107.67	122.33	92.33	85.17
S-2 Storage, low hazard	151.17	143.25	134.41	127.89	113.76	106.67	121.33	92.33	84.17
U Utility, miscellaneous	117.65	110.72	103.00	98.58	87.79	82.02	93.83	69.49	66.20

Square Foot Construction Costs ^{a, b, c}

- a. Private Garages use Utility, miscellaneous
- b. For shell only buildings deduct 20 percent
- c. N.P. = not permitted
- d. Unfinished basements (Group R-3) = \$31.50 per sq. ft.

Yamhill County Fire Agencies

Fire Apparatus Access and Water Supply Residential and Commercial Driveway Inspection Form

Bring this form to your local fire department to arrange a final driveway inspection for approval.

Address/location of proposed development: _____

Name: _____ Phone: _____ Email: _____

Type of construction: **Residential / Commercial** Building occupancy use: _____

Total square footage of structure including attached garage and basement: _____ Building height: _____ Building type: _____

Reliable water source: **Yes / No** Existing water source gallons: _____ Water source type: _____

Approved fire department connection from water source: **Yes / No**

Yamhill County Public Works Department Requirements

New access (driveways) and improvements to existing accesses must have a permit and conform to the current requirements of the Yamhill County Public Works. This form must be signed by an authorized employee of Public Works in addition to the permit process. The Yamhill County Public Works Office is located at 2060 Lafayette Avenue. Phone 503-434-7370.

Public Works Signature: _____ Date: _____ Permit #: _____

Oregon Fire Code requires access and firefighting water supply for all structures per ORS476.

- Road width: Residential:** Fire access roads shall have an unobstructed driving surface width not less than 12 feet for 1-2 family dwelling serving 5 homes or less (OFC D102.1.1). **Commercial:** Fire access roads shall have an unobstructed driving surface width not less than 20 feet (Diagram 1) (OFC 503.2.1).
- Vertical clearance:** An unobstructed vertical clearance not less than 13 feet 6 inches, including tree and brush obstructions (Diagram 1) (OFC 503.2.1).
- Surface and load capacities:** Fire access roads shall be of an all-weather surface with asphalt, concrete, or other approved driving surface capable of supporting the imposed load of a fire apparatus weighing at least 75,000 pounds (OFC D102.1). Gravel roads require 6 inches of base rock and 2 inches of surface rock. Proper drainage shall be provided and maintained to prevent run off damage (OFC D103.3.1).
- Grade:** Fire access road grade shall not exceed 10%, and no grade shall exceed 15%. A maximum of 200 feet of 15% grade may be allowed (OFC D103.2) (Diagram 2). For sites that exceed the maximum grade contact the local fire official to discuss possible options.
- Turns:** Maximum curve centerline shall not be less than 35 feet (Diagram 5).
- Distance from structure(s):** Fire access roads shall be within 150 feet of all portions of the exterior walls of the structure as measured from the approved fire access road (OFC 503.1.1).
- Dead end roads, turnarounds, and turnouts:** An approved turnaround is required if the dead-end fire access road is greater than 150 feet (Diagram 3) (OFC D103.4. Fire access roads more than 400 feet require turnouts every 400 feet or other fire official approved method (Diagram 4) (OFC 503.1, D103.1).
- Bridges:** Bridge shall be constructed and maintained in accordance with AASHTO HB-17. Bridges shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits shall be posted at both entrances to bridges (OFC 503.2.6).
- Gates:** Gates securing fire access roads shall comply with all the following: Minimum unobstructed width shall be 20 feet without a center post or island. Gates shall be of the swinging or sliding type operated by one person. Knox Box Rapid Access System or other unlocking method shall be submitted for approval by the fire code official on all locking or coded gates. Electric gates (listed per UL 325) and automatic operated gates (listed per ASTM F2200) shall be equipped with a means of opening the gate by fire department personnel with approved emergency opening devices (OFC 503.5, D103.5).
- Address Sign:** A permanent address sign must be installed plainly visible and legible from the street or road fronting the property. Numbers shall be at least 4" in height and contrast with the background (OFC 505.1).
- Water Supply:** An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings, or portions of buildings are hereafter constructed or moved into the jurisdiction (OFC 507.1, NFPA 4442).

I certify the construction of fire access and water supply for this development is completed per required fire code standards and will be maintained.

Owner/Builder Signature: _____

Date: _____

This section to be completed by Fire Official.

Conditional Approval: Fire access to the proposed development site is temporarily suitable for access by fire service equipment, however deficiencies exist and are required to be corrected prior to fire service approval. **REINSPECTION IS REQUIRED – SITE NOT APPROVED.**

Deficiencies: Width Vertical Clearance Imposed Weight Load Support Grade Turnaround Turnouts Gate Address Sign
Water Supply Base Rock Surface Rock Other _____

Final Approval: Water Supply and Fire Access to the proposed development site are satisfactory for access by fire department equipment.

Fire Official: _____ Fire Department: _____ Date: _____

White – Fire Department

Canary – Planning

Pink – Applicant

Goldenrod – Public Works

Revised 02/2022

Diagram 1 – Road Width and Vertical Clearance

Vertical Clearance 13' 6"
 Commercial Road 20' Width
 Residential Road 12' Width

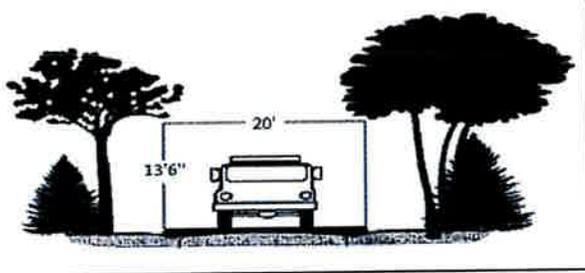


Diagram 2 – Grade

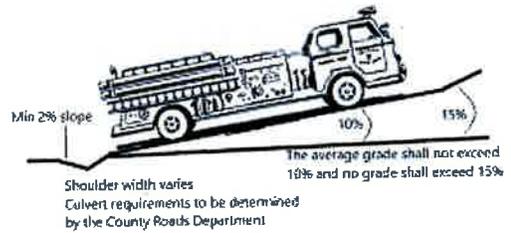


Diagram 3 – Turnarounds

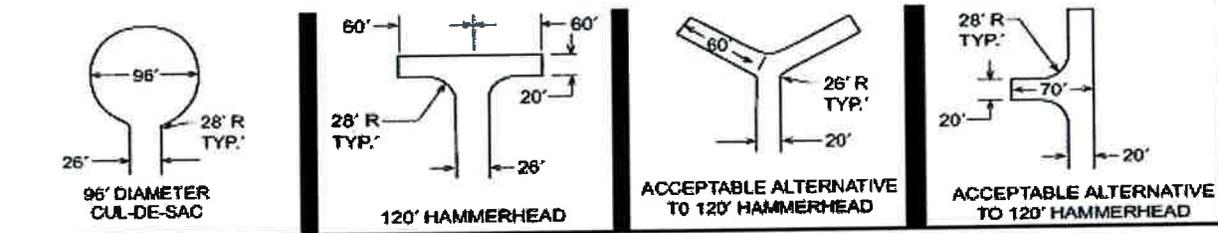
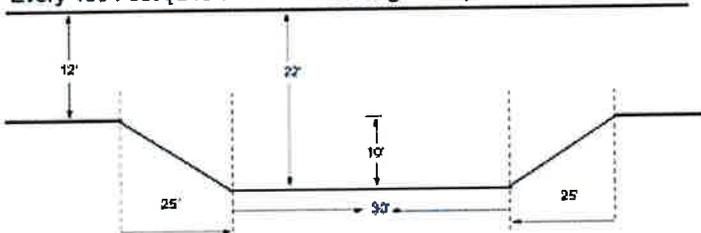


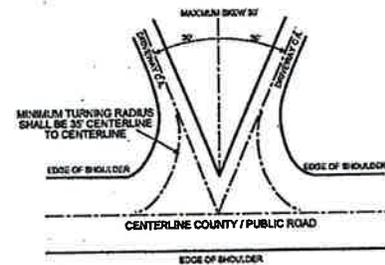
Diagram 5 – Turning Radius

Diagram 4 – Turnouts

Every 400 Feet (Overhead View Looking Down)



Road Approach Plan



Contacts:

Yamhill County Planning Department 503-434-7516
 Yamhill County Public Works 503-434-7370

Fire Department Contacts:

Amity Fire District 503-835-2311
 New Carlton Fire District 503-852-6233
 Dayton Fire District 503-864-3558
 Dundee Fire Department 503-554-8442
 Gaston Fire District 503-985-7575
 Grand Ronde Tribal Emergency Services 503-879-3473
 Lafayette Fire Department 503-864-2451
 McMinnville Fire Department 503-435-5800
 Sheridan Fire District 503-843-2467
 TVF&R (Newberg) 503-259-1500
 TVF&R'S requirements may vary. Contact directly for details.
 West Valley (Willamina) Fire District 503-876-2004
 Yamhill Fire District 503-680-8022

Firefighting Water Supply

For residential structures over 3600 sqft, including the garage, water supply for fire suppression must be provided in accordance with NFPA 1142. Residential fire sprinklers may be an acceptable alternative to the required water supply.

All commercial structures require reliable firefighting water onsite.

CONSTRUCTION EXCISE TAX

Effective January 1, 2026

SCHOOL DISTRICT	CONSTRUCTION TYPE	FEE PER SQUARE FOOT	MAXIMUM FEE
GASTON SD 55J	SINGLE FAMILY RESIDENCE with ATTACHED GARAGE (new or addition)	\$1.37	N/A
GASTON SD 55J	DETACHED GARAGE (new or addition)	\$0.72	\$36,100.00
GASTON SD 55J	COMMERCIAL (new or addition)	\$0.72	\$36,100.00
GASTON SD 55J	Conditional Use Hardship dwellings	\$1.37	N/A

NEWBERG SD 29J	SINGLE FAMILY RESIDENCE with ATTACHED GARAGE (new or addition)	\$1.67	N/A
NEWBERG SD 29J	DETACHED GARAGE (new or addition)	\$0.84	\$41,800.00
NEWBERG SD 29J	COMMERCIAL (new or addition)	\$0.84	\$41,800.00
NEWBERG SD 29J	Conditional Use Hardship dwellings	\$1.67	N/A

SHERWOOD SD 83J	SINGLE FAMILY RESIDENCE with ATTACHED GARAGE (new or addition)	\$1.67	N/A
SHERWOOD SD 83J	DETACHED GARAGE (new or addition)	\$0.84	\$41,800.00
SHERWOOD SD 83J	COMMERCIAL (new or addition)	\$0.84	\$41,800.00

YAMHILL-CARLTON SD1	SINGLE FAMILY RESIDENCE with ATTACHED GARAGE (new or addition)	\$1.67	N/A
YAMHILL-CARLTON SD1	DETACHED GARAGE (new or addition)	\$0.84	\$41,800.00
YAMHILL-CARLTON SD1	COMMERCIAL (new or addition)	\$0.84	\$41,800.00
YAMHILL-CARLTON SD1	Hardship dwellings are exempt from the Construction Excise Tax		

DAYTON SD 8	SINGLE FAMILY RESIDENCE with ATTACHED GARAGE (new or addition)	\$1.67	N/A
DAYTON SD 8	DETACHED GARAGE (new or addition)	\$0.84	\$41,800.00
DAYTON SD 8	COMMERCIAL (new or addition)	\$0.84	\$41,800.00

MCMINNVILLE SD 40	SINGLE FAMILY RESIDENCE with ATTACHED GARAGE (new or addition) – first 600' exempt	\$1.67	N/A
MCMINNVILLE SD 40	DETACHED GARAGE (new or addition) – first 600' exempt	\$1.67	\$41,800.00
MCMINNVILLE SD 40	COMMERCIAL (new or addition)	\$0.84	\$41,800.00

Where an existing residential or non-residential use is **removed from a property** (in part or in total), a credit towards the CET for the new use shall be applied based on the square footage and use of the existing building. No CET credit shall be applied if there is no record of the square footage of the existing use.

Plumbing Permit Application YAMHILL COUNTY

400 NE Baker Street, McMinnville, OR 97128
Phone: (503) 434-7516 - Planning@yamhillcounty.gov

Permit No _____

Date _____

TYPE OF WORK	
<input type="checkbox"/> New construction	<input type="checkbox"/> Addition/alteration
CATEGORY OF CONSTRUCTION	
<input type="checkbox"/> 1- and 2-family dwelling	<input type="checkbox"/> Commercial/industrial
<input type="checkbox"/> Accessory building	<input type="checkbox"/> Garage
<input type="checkbox"/> Agricultural building	<input type="checkbox"/> Other
JOB SITE INFORMATION AND LOCATION	
Job site address:	
Cross street/directions:	
Tax map/parcel no.	
DESCRIPTION OF WORK	
PROPERTY OWNER	
Name:	
Address:	
City/State/Zip:	
E-mail:	
Phone: ()	Fax: ()
This installation is being made on residential or farm property owned by me or a member of my immediate family and is exempt from licensing requirements under OAR 918-695-0020.	
Signature:	
CONTRACTOR	
Business name:	
Contact name:	
Address:	
City/State/Zip:	
Phone: ()	Fax: ()
E-mail:	
CCB lic:	Expiration date:
BCD lic:	Expiration date:
Signature	

This permit is issued in accordance with OAR 918-780-0060. Permits are issued only to the person or contractor doing the work. Permits expire if work is not started within 180 days of issuance or if work is suspended for 180 days.

Apply online <https://aca-oregon.accela.com/oregon/Default.aspx> or
Forms can be emailed to planning@yamhillcounty.gov

FEE SCHEDULE			
Description	Qty	Cost ea.	Total
Residential			
1 bathroom/1 kitchen (includes: first 100 ft of water/sewer lines, hose bibbs, ice maker, underfloor, low-point drains, and rain-drain packages)		\$352.04	\$
2 bathrooms/1 kitchen		\$469.88	\$
3 bathrooms/1 kitchen		\$573.25	\$
Each additional bathroom (over 3)		\$ 103.34	\$
Each additional kitchen (over 1)		\$ 96.49	\$
Remodel/alteration (MIN. fee)		\$ 95.65	\$
Each fixture and piping		\$ 29.87	\$
Irrigation systems		\$ 95.65	\$
Backflow Device		\$ 95.65	\$
Each additional 100' water line		\$ 53.27	\$
Each additional 100' sewer line		\$ 53.27	\$
Residential fire sprinklers (includes plan review)			
0 to 2,000 square feet		\$ 124.34	\$
2,001 to 3,600 square feet		\$147.82	\$
3,601 to 7,200 square feet		\$197.14	\$
7,201 square feet and greater		\$295.68	\$
Manufactured dwelling or prefab (circle one)			
Each 100' water line (over 30')		\$ 53.27	\$
Each 100' sewer line (over 30')		\$ 53.27	\$
RV and manufactured dwelling parks			
Base fee (includes first 10 spaces)		\$239.78	\$
Each additional space		\$103.34	\$
Commercial, industrial, and multi-family dwellings			
Minimum fee		\$ 95.65	\$
Each fixture		\$ 29.87	\$
Each 100 feet of water line		\$ 53.27	\$
Each 100 feet of sewer line		\$ 53.27	\$
Miscellaneous fees			
Specialty fixtures		\$ 29.87	\$
Special Inspection (per hour)		\$ 95.65	\$
Re-inspection		\$ 95.65	\$
Other		\$	\$
Medical Gas Piping – PLEASE SEE FEE SCHEDULE			
Minimum fee			\$347.26
Enter a value of installation and equipment \$ _____			
Enter fee based on installation and equipment value.			\$
FEE CALCULATIONS			
Subtotal of fees above		\$	
Investigation fee (when applicable)		\$	
12% Surcharge		\$	
Admin processing		\$ 30.84	
Plan review 35% (when applicable)		\$	
5% Technology surcharge		\$	
TOTAL FEES AND SURCHARGES		\$	

Mechanical Permit Application YAMHILL COUNTY

400 NE Baker Street, McMinnville, OR 97128
Phone: (503) 434-7516 - Planning@yamhillcounty.gov

Permit No. _____

Date: _____

This permit is issued in accordance with OAR 918-430-0050. Permits expire if work is not started within 180 days of issuance or if work is suspended for 180 days.

TYPE OF WORK	
<input type="checkbox"/> New construction	<input type="checkbox"/> Addition/alteration
CATEGORY OF CONSTRUCTION	
<input type="checkbox"/> 1- and 2-family dwelling	<input type="checkbox"/> Commercial/industrial
<input type="checkbox"/> Accessory building	<input type="checkbox"/> Multi-family
<input type="checkbox"/> Agricultural building	<input type="checkbox"/> Garage
<input type="checkbox"/> Other	
JOB SITE INFORMATION AND LOCATION	
Job site address:	
City/State/Zip:	
Email:	
Tax map/parcel:	
DESCRIPTION OF WORK	
PROPERTY OWNER	
Name:	
Address:	
City/State/Zip:	
Phone:	Fax:
E-mail:	
This installation is being made on property owned by me or a member of my immediate family and is exempt from licensing requirements under ORS 701.0010.	
Signature: _____	
MECHANICAL CONTRACTOR	
Business name:	
Contact name:	
Address:	
City/State/Zip:	
Phone:	Fax:
E-mail:	
CCB lic:	Expiration date:
BCD lic:	Expiration date:
Signature: _____	Date: _____
Apply online https://aca-oregon.accela.com/oregon/default.aspx	

FEE SCHEDULE			
DESCRIPTION	QTY	COST EA.	TOTAL
Residential			
If the items below do not total the minimum fee, the minimum fee will apply.			
Minimum permit		\$95.65	\$
Furnace/burner, including ducts and vents			
Up to 100k BTU/hr.		\$ 15.42	\$
Over 100k BTU/hr.		\$20.48	\$
Heaters/stoves/vents			
Unit heater		\$ 15.42	\$
Wood/pellet/flue		\$ 20.48	\$
Floor furnace with radon		\$ 15.42	\$
Alteration of existing system		\$ 15.42	\$
Evaporated cooler		\$ 11.88	\$
Vent fan with one duct/appliance vent		\$ 8.51	\$
Hood with exhaust and duct		\$ 11.88	\$
Clothes dryer vent		\$ 20.48	\$
Hydronic hot water system		\$ 80.35	\$
Gas Piping			
One to four outlets		\$ 11.88	\$
Additional outlets (each)		\$ 1.74	\$
Air-handling units, including ducts			
Up to 10,000 CFM		\$ 15.42	\$
Over 10,000 CFR		\$ 20.48	\$
Heat pump			
Up to 3 hp/100k BTU		\$ 15.42	\$
Incinerators			
Domestic incinerator		\$ 20.48	\$
Gas appliances:			
Each appliance		\$ 11.88	\$
Commercial			
Mechanical permit fees are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all mechanical materials, labor, overhead, and profit.			
Value			
Miscellaneous fees	Qty	Cost ea.	Total
Unclassified regulated equipment		\$ 11.88	\$
FEE CALCULATION			
Subtotal of fees above		\$	
Admin processing		\$ 30.84	
Surcharge (12%)		\$	
Plan review 35% (when applicable)		\$	
5% Technology surcharge		\$	
Amount Due		\$	

Renewable Energy Electrical Permit Application

YAMHILL COUNTY

400 NE Baker St., McMinnville, OR 97128
planning@co.yamhill.or.us

Phone: (503) 434-7516
 Fax: (503) 434-7544

Permit No. _____

Date: _____

This permit is issued under OARs 918-500-0105 and 918-525-0370. Permits expire if work is not started within 180 days of issuance or if work is suspended for 180 days.

CATEGORY OF CONSTRUCTION	
<input type="checkbox"/> Residential	<input type="checkbox"/> Commercial
JOB SITE INFORMATION AND LOCATION	
Job site address:	
City	
State:	Zip:
Cross street/directions to job site:	
Tax map/parcel number.:	
DESCRIPTION OF WORK	
PROPERTY OWNER INSTALLATION	
Name:	
Address:	
City/State/Zip:	
Phone: ()	Email:
This installation is being made on residential or farm property owned by me or a member of my immediate family. This property is not intended for sale, exchange, lease, or rent [ORS 479.540(1) and 479.560(1)].	
Sign here:	
CONTRACTOR INSTALLATION	
Business name:	
Contact name:	
Address:	
City/State/Zip:	
Phone: ()	Fax: ()
E-mail:	
CCB lic:	Expiration date:
BCD lic:	Expiration date:
Signature – Signing Supervisor:	
Supervisor lic.:	Expiration date:

FEE SCHEDULE		
Number of inspections per item ()		
Renewable energy installation per solar system total	Cost	Sum
5 KVA or less (2)	\$ 115.67	\$
5.01 to 15 KVA (2)	\$ 137.09	\$
15.01 to 25 KVA (2)	\$ 228.12	\$

Solar generation systems in excess of 25 KVA	Cost	Sum
First 25 KVA (2)	\$ 228.12	\$
For each additional KVA over 25 up to 100 KVA (3)	\$ 9.64	\$

Renewable energy installation per wind generation system total	Cost	Sum
5 KVA or less (2)	\$ 115.67	\$
5.01 to 15 KVA (2)	\$ 137.09	\$
15.01 to 25 KVA (2)	\$ 228.12	\$

Wind generation systems in excess of 25 KVA	Cost	Sum
25.01 KVA to 50 KVA (2)	297.74	\$
50.10 KVA TO 100 KVA (2)	\$683.30	\$

FEE COLLECTIONS	
Subtotal of fees above	\$
12% surcharge	\$
Plan review (when applicable) 35%	\$
Technology surcharge	\$
Admin processing	\$ 30.84
Other	\$
TOTAL FEES	\$

Yamhill County Department of Planning and Development

ELECTRICAL PERMIT APPLICATION

400 NE Baker Street • McMinnville, OR 97128
 Phone: 503-434-7516 • Planning@yamhillcounty.gov
 www.co.yamhill.or.us/283/Planning-Development

Permit: 979-

Date:

This permit is issued under OAR 918-309-0000. Permits expire if work is not started within 180 days of issuance or if work is suspended for 180 days.

1. LOCATION OF INSTALLATION

Address:

City: State: Zip:

Tax Lot #:

Residential
 Commercial

Job description:

2A. CONTRACTOR INSTALLATION

Business name:

Address:

City: State: Zip:

Phone: Email:

CCB license no.: Expiration date:

BCD license no.: Expiration date:

Signature of signing supervisor:

Print signing supervisor's name:

Signing supervisor's license no.: Expiration date:

2B. OWNER INSTALLATION

Owner's name:

Address:

City: State: Zip:

Phone: Email:

Signature:

This installation is being made on property owned by me or a member of my immediate family. This property is not intended for sale, exchange, lease, or rent. OAR 479.540(1) and 479.560(1).

FEES:

- (A) Enter subtotal of fees above \$ _____
- (B) Enter surcharge (12%) \$ _____
- (C) Admin Surcharge \$ 30.84

- (D) 5% Technology Surcharge \$ _____
- (E) Plan review, if required (35%) \$ _____

TOTAL DUE: \$ _____

3. COMPLETE FEE SCHEDULE BELOW

Number of inspections per item ()	Qty	Cost ea.	Total
A. NEW RESIDENTIAL 1-2 SINGLE-FAMILY DWELLINGS and NEW MULTI-FAMILY (3 or more) SERVICE INCLUDED			
1. 1,000 sq ft or less (4)		\$ 175.64	\$
2. Each additional 500 sq ft or portion thereof (1)		\$ 32.13	\$
3. Limited energy single-family (1)		\$ 51.41	\$
4. Total number of multi-family units			
- Square feet of the largest unit			
5. Limited energy: multi-family per floor (1)		\$ 66.40	\$
6. Each manufactured home or modular home service (2)		\$ 92.11	\$
B. SERVICES OR FEEDERS: installation, alteration, or relocation			
1. 200 amps or less (1)		\$ 115.67	\$
2. 201 amps to 400 amps (2)		\$ 137.09	\$
3. 401 amps to 600 amps (2)		\$ 228.12	\$
4. 601 amps to 1000 amps (2)		\$ 297.74	\$
5. Over 1000 amps or volts (3)		\$ 683.30	\$
6. Reconnect only (1)		\$ 92.11	\$
C. TEMPORARY SERVICES OR FEEDERS: installation, alteration, or relocation			
1. 200 amps or less (1)		\$ 92.11	\$
2. 201 amps to 400 amps (2)		\$ 125.31	\$
3. 401 amps to 600 amps (2)		\$ 182.07	\$
4. Over 600 amps or 1000 volts – see "B" above			
D. BRANCH CIRCUITS: new, alteration, or extension per panel			
1. The fee for branch circuits <u>with purchase of service or feeder fee</u>		\$ 6.43	\$
2. The fee for first branch circuit <u>without purchase of service or feeder fee (2)</u>		\$ 79.25	\$
3. Each additional branch circuit		\$ 6.43	\$
E. MISCELLANEOUS: service or feeder not included			
1. Each pump or irrigation circuit (1)		\$ 92.11	\$
2. Each sign or outline lighting (1)		\$ 92.11	\$
3. Signal circuit(s), Panel alteration or extension, Generator with inlet		\$ 92.11	\$
4. Generator with ATS		182.07	\$
5. Limited Energy Commercial		\$ 91.11	\$
F. EACH ADDITIONAL INSPECTION			
1. Per inspection		\$ 76.04	\$
2. Per hour		\$ 100.67	\$

PERMITS ARE NON-TRANSFERABLE AND NON-REFUNDABLE AND EXPIRE IF WORK IS NOT STARTED WITHIN 180 DAYS OF ISSUANCE OR IF WORK IS SUSPENDED FOR 180 DAYS.

LAND USE APPLICATION FEE SCHEDULE Effective July 1, 2025	Microfilm Fee	Assessor Surcharge	Planning Surcharge	5% Tech Fee	Land Use Fee	Total Fees
COMPREHENSIVE PLAN						
Map, Policy, Exception, Text or other Amendment (PA)	\$ 20		\$ 30.84		\$4,910	\$ 4,930.00
Plan Amendment Combined with Zone Change (PAZ)	\$ 20		\$ 30.84		\$4,910	\$ 4,930.00
Plan Amendment/Zone Change/Exception	\$ 20		\$ 30.84		\$7,353	\$ 7,373.00
ZONING ORDINANCE / MAP						
Zoning Ordinance or Map Amendments (including PUD) (Z)	\$ 20		\$ 30.84		\$3,727	\$ 3,747.00
Zoning Map Amendments pursuant to YCZO §303.01(1)	\$ 20		\$ 30.84		\$3,727	\$ 3,747.00
CONDITIONAL USE						
New Permit (C, B & B, WRG)	\$ 20		\$ 30.84		\$3,134	\$ 3,154.00
Home Occupation	\$ 20		\$ 30.84		\$1,607	\$ 1,627.00
Conditional Use-Temporary Structure (CTS)			\$ 30.84		\$1,585	\$ 1,585.00
Temporary Structure Renewal (CTR)			\$ 30.84		\$119	\$ 119.00
Minor Adjustments			\$ 30.84		\$467	\$ 467.00
Re-Notice			\$ 30.84		\$365	\$ 365.00
VARIANCE						
New (V)			\$ 30.84		\$1,925	\$ 1,925
Renewal			\$ 30.84		\$467	\$ 467.00
PARTITIONS, SUBDIVISIONS, ADJUSTMENTS						
Subdivisions (S)	\$ 20	\$ 211	\$ 30.84		\$3,794	\$ 4,055.00
Partitions (P)	\$ 20	\$ 202	\$ 30.84		\$2,465	\$ 2,717.00
Lot-line Adjustment (L)- notice required			\$ 30.84		\$583	\$ 583.00
Lot-line Adjustment (L)- notice not required			\$ 30.84		\$583	\$ 583.00
Replat			\$ 30.84		\$742	\$ 742.00
DWELLING APPROVALS						
Farm Dwelling (FD)	\$ 20		\$ 30.84		\$1,654	\$ 1,674.00
Forest Template Dwelling (FT)	\$ 20		\$ 30.84		\$1,654	\$ 1,674.00
Forest Template Re-site			\$ 30.84		\$742	\$ 742.00
Nonfarm Dwelling (NFD)	\$ 20	\$ 143	\$ 30.84		\$2,486	\$ 2,679.00
Lot-of-Record Dwelling (LOR)	\$ 20		\$ 30.84		\$1,654	\$ 1,674.00
Accessory Dwelling Unit (ADU)	\$ 20		\$ 30.84		\$1347	\$ 1,367.00
AGENCY SIGN-OFF						
Agency sign-off (LUCS; DMV renewal; building permit)					\$98	\$ 98.00
OTHER APPLICATIONS						
						\$0
Address Assignment (without Building Permit)			\$ 30.84		\$53	\$ 53.00
Extension			\$ 30.84		\$151	\$ 151.00
Floodplain Development (FP)	\$ 20		\$ 30.84		\$1,607	\$ 1,627.00
Miscellaneous (any other permit or determination involving the exercise of discretion)					\$ 1,370	\$1,370.00
Nonconforming Use – New (NCU)			\$ 30.84		\$1,925	\$ 1,925.00
Nonconforming Use – Renewal			\$ 30.84		\$467	\$ 467.00
Road Name Changes (RN)			\$ 30.84		\$704	\$ 704.00
Sign Permit (SP)			\$ 30.84		\$151	\$ 151.00
Similar Use (SU)			\$ 30.84		\$934	\$ 934.00
EVENTS: Expedited single event			\$ 30.84		\$98	\$ 98.00
Single Event (Type A)			\$ 30.84		\$ 360	\$ 360.00
Single Event (Type B)			\$ 30.84		\$ 935	\$ 935.00
Six Events (Type A or B)			\$ 30.84		\$ 935	\$ 935.00
Renewal Six Events (A or B)			\$ 30.84		\$ 343	\$ 343.00

MISC. BUILDING, PLANNING & SURVEY DEPARTMENT FEES Effective July 1, 2025	Building permit/inspection	Planning/ Land use clearance	Admin Processing	5% Tech Surcharge	Total Fees
INSPECTIONS					
Replacement Dwelling Inspection and Letter	\$95.65	\$100.74	\$30.84	\$11.36	\$238.59
Ground Mount Solar Install Res/Com	\$95.65	\$100.74	\$30.84	\$11.36	\$238.59
Cell Tower Installation (New & Modifications)	\$95.65	\$100.74	\$30.84	\$11.36	\$238.59
Prescriptive Path Solar	\$193.85	\$100.74	\$30.84	\$16.27	\$341.70 + State surcharge
Non-Prescriptive Path Solar Res/Com	Based on value	\$100.74	\$30.84	Based on total w/ value	Total + 12% State surcharge
Ag Zoning Compliance		\$100.74	\$30.84	\$6.66	\$138.16
Demolition permit	\$95.65		\$30.84	\$6.32	132.81
Code Enforcement Per Hour	\$100.74			\$5.04	\$105.78
Permit extension request	\$80.18			\$4.01	\$84.19
Permit Reinstatement – expired permit	\$95.65			\$4.78	\$100.43
Investigation Fee	\$106.91			\$5.35	\$112.26
Erosion control – 1/4 to 1/2 acres	\$156.37	\$100.74	\$30.84	\$14.40	\$302.34
Erosion control – 1/2 to 3/4 acres	\$370.57	\$100.74	\$30.84	\$25.11	\$527.25
Erosion control – 3/4 to 1 acre	\$584.77	\$100.74	\$30.84	\$35.82	\$752.16
Special inspection or consultation – structural per each	\$100.00		\$30.84		\$130.84
MISCELLANEOUS OFFICE					
Oregon Liquor License/Special Events OLCC		29.81		\$1.49	\$31.30
Admin Processing Fee			\$30.84	\$1.54	\$32.38
Return Check			\$30.84		\$30.84
Refund Processing			\$30.84		\$30.84
GIS Maps – Data Files	\$67.85			\$3.39	\$71.24
Research Fee	\$67.85			\$3.39	\$71.24
Research Fee, Letter & Map Prep – per hour	\$67.85	\$100.74		\$8.43	\$177.02
SURVEY FEES					
Effective July 1, 2025	Filing fee		Admin Processing	5% Tech Surcharge	Total Fees
Survey Maps Filing & Review Fee	\$350.00		\$30.84	\$19.04	\$399.88
Each additional page review after 3		\$25.00		\$1.25	\$26.25
Partition Filing & Review Fee	\$450.00		\$30.84	\$24.04	\$504.88
Each additional page review after 3		\$25.00		\$1.25	\$26.25
Subdivision/Condominiums/Cemetery Filing	\$450.00		\$30.84	\$34.04	\$714.88
Each additional page review after 3		\$25.00		\$1.25	\$26.25
Partition/ Subdivision/ Condo/ Cemetery Deposits					\$1500.00
Additional Lot and Tract					\$70.00
Post Monument Pin each					\$150.00
Public road vacation, no hearing	\$400.00		\$30.84	\$21.54	\$452.38
Public road vacation hearing is required	\$1,500.00		\$30.84	\$61.54	\$1292.38
Additional Review / Research - Hourly Rate					\$77.00
Admin Processing					\$30.84
Public Land Corner Preservation - Clerk					\$10.00
GIS Survey Fee			\$1.25	\$25	\$26.25
Survey Plat Marking Fee – Clerk					\$25.00

Yamhill County

DEPARTMENT OF PLANNING AND DEVELOPMENT

400 NE BAKER STREET • McMinnville, OREGON 97128

Phone: 503-434-7516 • Fax: 503-434-7544 • Internet Address: <https://www.co.yamhill.or.us/283/Planning-Development>

MANUFACTURED HOME SET-UP FEES

July 1, 2025

DESCRIPTION	FEE	SURCHARGE	TOTAL
Manufactured Home Placement Permit	\$491.91	\$59.03	\$550.94
State Manufactured Home Fee	\$30.00		\$ 30.00
Agency Review - County Only	\$100.74		\$ 100.74
Water, Sewer, and Storm Lines – 31' to 100' If the line exceeds 100', call the office for fees.	\$100.67	\$ 12.08	\$ 112.75
Manufactured Home Electrical Service Permit	\$92.11	\$ 11.05	\$ 103.16
Earthquake-Resistant Bracing System Installation (not part of the original system)	\$196.99	\$23.64	\$229.61
Reinspection of Manufactured Dwelling	\$95.65	\$11.48	\$107.13
Admin Processing fee	\$30.84		\$30.84
Technology Surcharge	5% of the total		-

CONSTRUCTION EXCISE TAX

Effective July 2025

SCHOOL DISTRICT	CONSTRUCTION TYPE	FEE PER SQUARE FOOT	MAXIMUM FEE
Gaston SD 55J	Single Family Residence	\$1.37	N/A
Newberg SD 29J	Single Family Residence	\$1.00	N/A
Sherwood SD 83J	Single Family Residence	\$1.67	N/A
Yamhill-Carlton SD1	Single Family Residence	\$1.67	N/A
Dayton SD 8	Single Family Residence	\$1.20	N/A
McMinnville SD 40	Single Family Residence (first 600' exempt)	\$1.56	N/A

Where an existing residential or non-residential use is **removed from a property** (in part to in total), a credit towards the CET for the new use shall be applied based on the square footage and use of existing building. No CET credit shall be applied if there is no record of the square footage of the existing use.

Development Fees – Parks System

Within Chehalem Parks and Recreation (CP&R) District

\$5,796.00 (Manufactured Home)

In Yamhill County but outside CP&R District

\$338.22 (Manufactured Home)

Yamhill County Department of Planning and Development

ON-SITE SEWAGE DISPOSAL FEES JANUARY 1, 2026

DESCRIPTION	Fee	Plan Agency	Admin	5% Tech	DEQ	Total
NEW SITE EVALUATIONS:						
RESIDENTIAL						
Site Evaluation	821.78	55.59	30.84	45.41	120.00	1,073.62
Site Evaluation amendment - half rate	410.89	55.59	30.84	22.09	120.00	583.82
COMMERCIAL FACILITY SYSTEMS						
For 1st 1,000 gal. projected daily sewage flow	821.78	55.59	30.84	45.41	120.00	1,073.62
For EACH 500 gallons above 1,000 gallons	200.30			10.01		210.31
CONSTRUCTION- INSTALLATION PERMITS:						
Standard On-Site System	915.82	55.59	30.84	50.11	120.00	1,172.36
ALTERNATIVE SYSTEMS						
Alternative Treatment Technologies (ATT)	1,283.83	55.59	30.84	68.51	120.00	1,558.77
Capping Fill	1,373.12	55.59	30.84	72.98	120.00	1,652.53
Disposal Trenches in Saprolite	915.82	55.59	30.84	50.11	120.00	1,172.36
Holding Tanks	1,017.17	55.59	30.84	55.18	120.00	1,278.78
Pressure Distribution	1,297.10	55.59	30.84	69.18	120.00	1,572.71
Recirculating Gravel Filters	1,695.29	55.59	30.84	89.09	120.00	1,990.80
Sand Filter	1,695.29	55.59	30.84	89.09	120.00	1,990.80
Steep Slope System	915.82	55.59	30.84	50.11	120.00	1,172.36
Tile Dewatering	1,233.15	55.59	30.84	65.98	120.00	1,505.56
All Pumps & Siphons	74.81			3.74		78.55
SYSTEMS GREATER THAN 1,000 GPD BUT LESS THAN 2,500 GPD						
For EACH 500 gallon above 1,000 gpd, a maximum of 2,500 gpd	117.04			5.85		122.89
ALTERATIONS						
Major (drainfield or tank and drainfield)	915.82	55.59	30.84	50.11	120.00	1,172.36
Minor (tank and/or tight-line only)	346.30	55.59	30.84	21.64	120.00	574.36
PERMIT RENEWAL: (renewed within 1 year after expiration date by original owner ONLY)						
Field visit required	612.96	55.59	30.84	34.97	120.00	854.36
Field visit not required	161.69	55.59	30.84	12.41	120.00	380.53
REPAIR PERMIT:						
Major (drainfield or tank and drainfield)	491.09	55.59	30.84	28.88	120.00	726.40
Minor (tank and/or tight-line only -	255.80	55.59	30.84	17.11	120.00	479.34
PLAN REVIEW FEE: (Commercial Only)						
1st 1,000 gallons	421.11			21.06		442.16
Over 1,000 - Projected each additional 500 gallons	69.98			3.50		73.48

AUTHORIZATION:						
If a field visit is required	568.31	55.59	30.84	32.74	120.00	807.48
If a field visit is not required	158.07	55.59	30.84	12.22	120.00	376.72
Temporary or Hardship MH	316.13	55.59	30.84	20.13	120.00	542.69
Renewal of Temporary Hardship	174.96	55.59	30.84	13.07	120.00	394.46
EXISTING SYSTEM:						
Evaluation	466.96		30.84	24.89	120.00	642.69
ANNUAL EVALUATIONS						
INSPECTIONS						
Alternative Systems (ATT, SandFilters, Recirc. Gravel Filters)	625.02		30.84	32.79		688.66
Holding Tanks	174.96		30.84	10.29		216.09
REPORTS						
Alternative Systems (ATT, Sand Filters, Recirc. Gravel Filters)	90.50			4.52		95.03
Holding Tanks	47.06			2.35		49.41
SEWAGE DISPOSAL SERVICE:						
Pump Truck Inspection - 1st	217.19			10.86		228.05
Pump Truck Inspection - each additional	109.80			5.49		115.29
OTHER FEES						
DEQ Surcharge	120.00			-		120.00
Planning Agency Sign Off	55.59			2.78		58.37
Admin Processing	30.84			1.54		32.38
Inspection - Consult Fee - ADU Inquiry	110.12		30.84	7.05		148.01
Reinspection Fee - Permits	250.97			12.55		263.52

Admin processing and Technology Surcharges will be assessed on all applications and permits.

AUTHORIZATION:						
If field visit is required	568.31	55.59	30.84	32.74	117.00	804.48
If field visit is not required	158.07	55.59	30.84	12.22	117.00	373.72
Temporary or Hardship MH (<i>tank must be pumped every 4 years</i>)	316.13	55.59	30.84	20.13	117.00	539.69
Renewal of Temporary Hardship (<i>tank must be pumped every 4 years</i>)	174.96	55.59	30.84	13.07	117.00	391.46
EXISTING SYSTEM:						
Evaluation	466.96		30.84	24.89	117.00	639.69
ANNUAL EVALUATIONS						
INSPECTIONS						
Alternative Systems (ATT, SandFilters, Recirc. Gravel Filters)	625.02		30.84	32.79		688.66
Holding Tanks	174.96		30.84	10.29		216.09
REPORTS						
Alternative Systems (ATT, Sand Filters, Recirc. Gravel Filters)	90.50			4.52		95.02
Holding Tanks	47.06			2.35		49.41
SEWAGE DISPOSAL SERVICE:						
Pump Truck Inspection - 1st	217.19			10.86		228.05
Pump Truck Inspection - each additional	109.80			5.49		115.29
OTHER FEES						
DEQ Surcharge	117.00			-		117.00
Planning Agency Sign Off	55.59			2.78		58.37
Admin Processing	30.84			1.54		32.38
Inspection - Consult Fee - ADU Inquiry	110.12		30.84	7.05		148.01
Reinspection Fee - Permits	250.97			12.55		263.52
Admin processing and Technology Surcharges will be assessed on all applications and permits.						